



**To:**  
**All members of the  
Planning Committee**

*Please reply to:*  
Contact: Chris Curtis  
Service: Committee Services  
Direct line: 01784 446240  
E-mail: [c.curtis@spelthorne.gov.uk](mailto:c.curtis@spelthorne.gov.uk)  
Date: 18 August 2020

## Supplementary Agenda

### Planning Committee - Wednesday, 19 August 2020

Dear Councillor

I enclose the presentations for the items on the agenda for the Planning Committee meeting to be held on Wednesday 19 August 2020.

**4. Planning Application No. 20/00052/FUL - Inglewood, Green Street, Sunbury on Thames, TW16 6QB 3 - 30**

**Ward**

Halliford and Sunbury West

**Proposal**

Conversion of a House of Multiple Occupation (HMO) to 8 residential flats involving extension and alteration to the front and rear with associated parking, refuse storage and amenity space.

**Officer recommendation**

This planning application is recommended for approval subject to conditions.

**5. Planning Application No. 20/00150/FUL - 11 Hogarth Avenue, Ashford, TW15 1QB 31 - 38**

**Ward**

Ashford Common

**Proposal**

Change of use of existing dwelling to a 7 bedroom House of Multiple Occupation (HMO) including increase to height of an existing rear extension and conversion of two integral garages to habitable accommodation.

**Spelthorne Borough Council, Council Offices, Knowle Green**

**Staines-upon-Thames TW18 1XB**

[www.spelthorne.gov.uk](http://www.spelthorne.gov.uk) [customer.services@spelthorne.gov.uk](mailto:customer.services@spelthorne.gov.uk) telephone 01784 451499

**Officer recommendation**

The planning application is recommended for approval subject to conditions as set out in paragraph 8 of the officer's report.

Yours sincerely

Chris Curtis  
Corporate Governance

To the members of the Planning Committee

Councillors:

T. Lagden (Chairman)  
M. Gibson (Vice-Chairman)  
C. Bateson  
S.A. Dunn  
N.J. Gething

A.C. Harman  
H. Harvey  
N. Islam  
J. McIlroy  
R.J. Noble

R.W. Sider BEM  
V. Siva  
R.A. Smith-Ainsley  
B.B. Spoor  
J. Vinson





























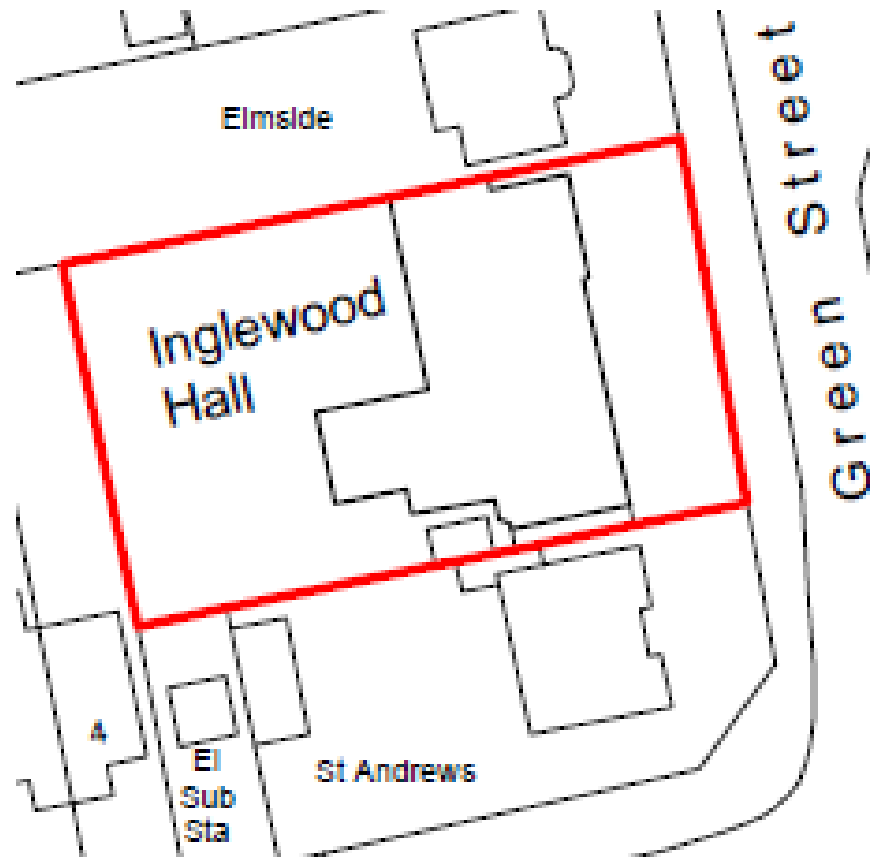




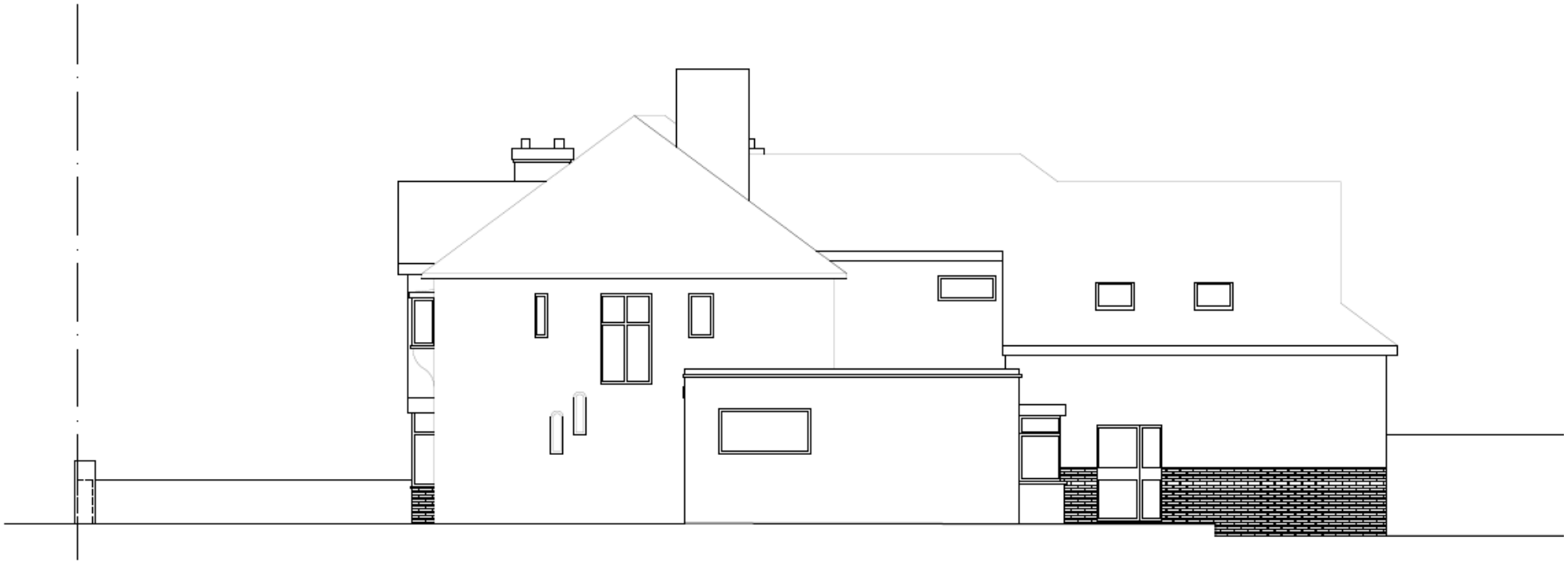
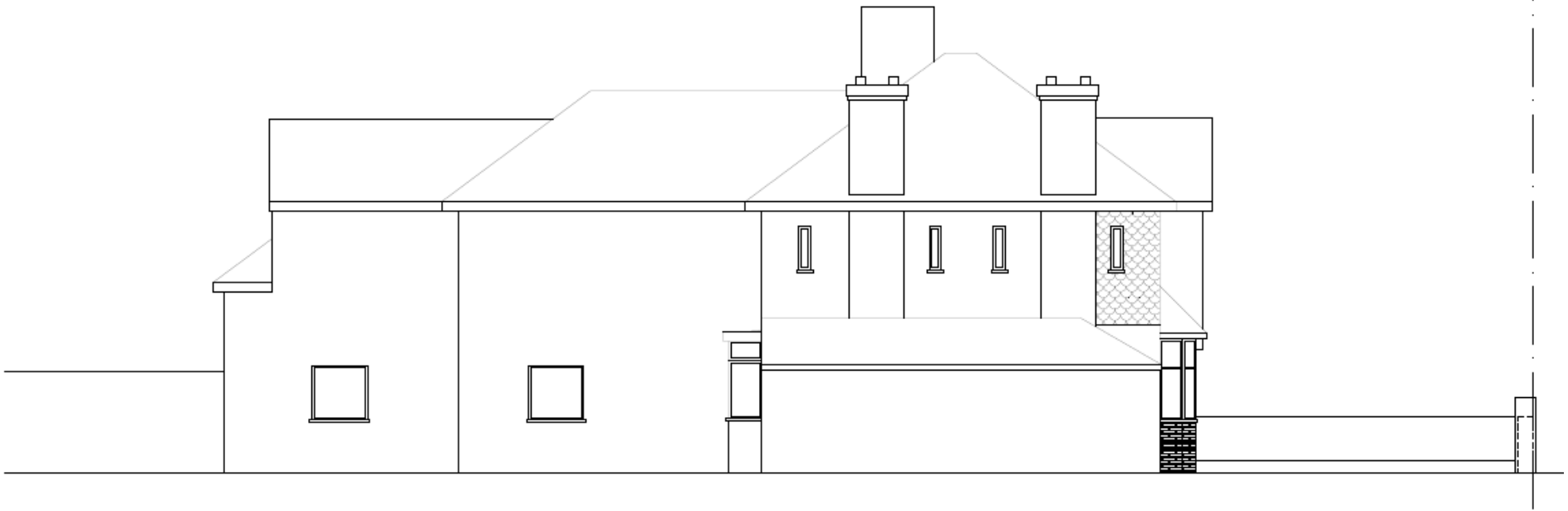




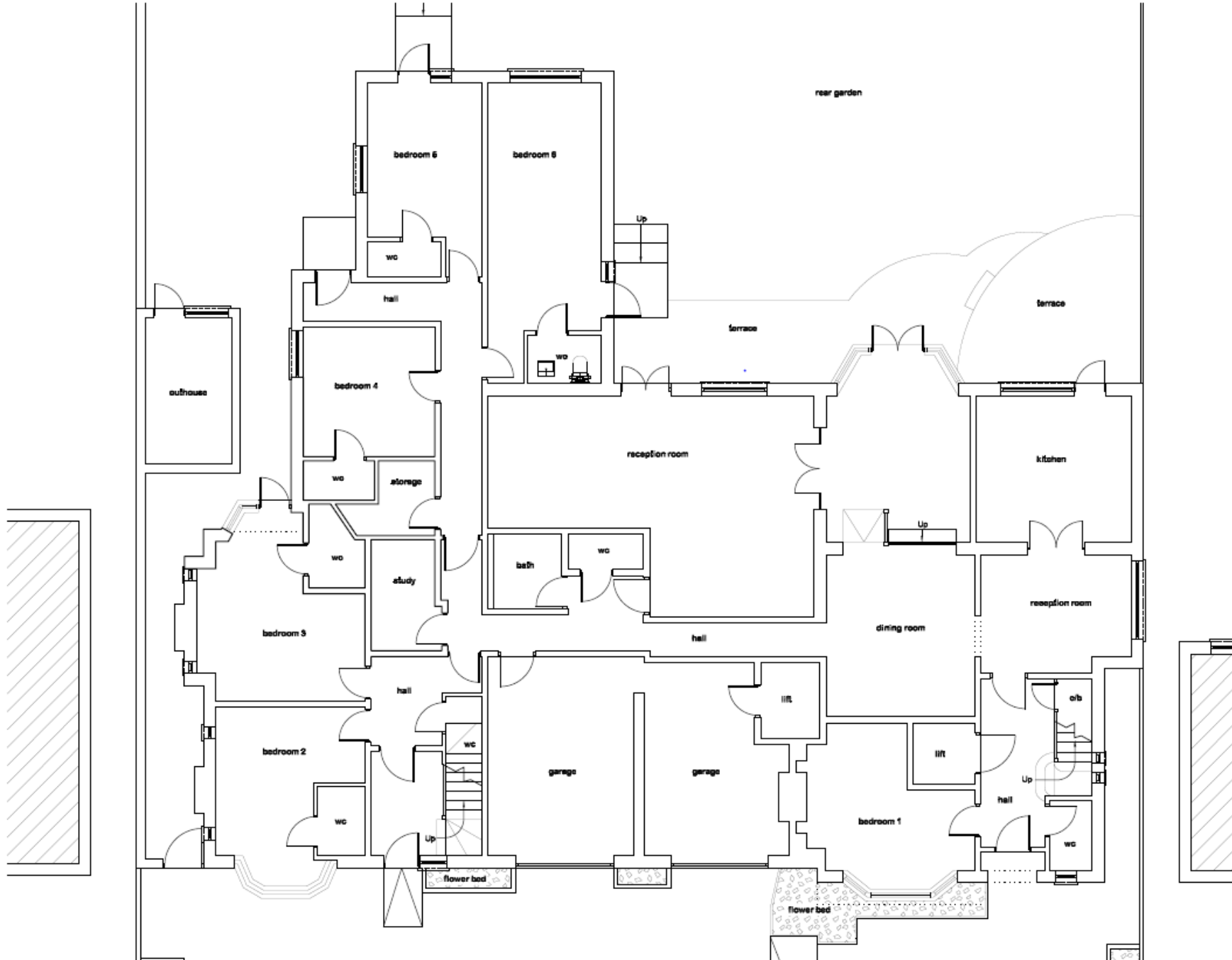


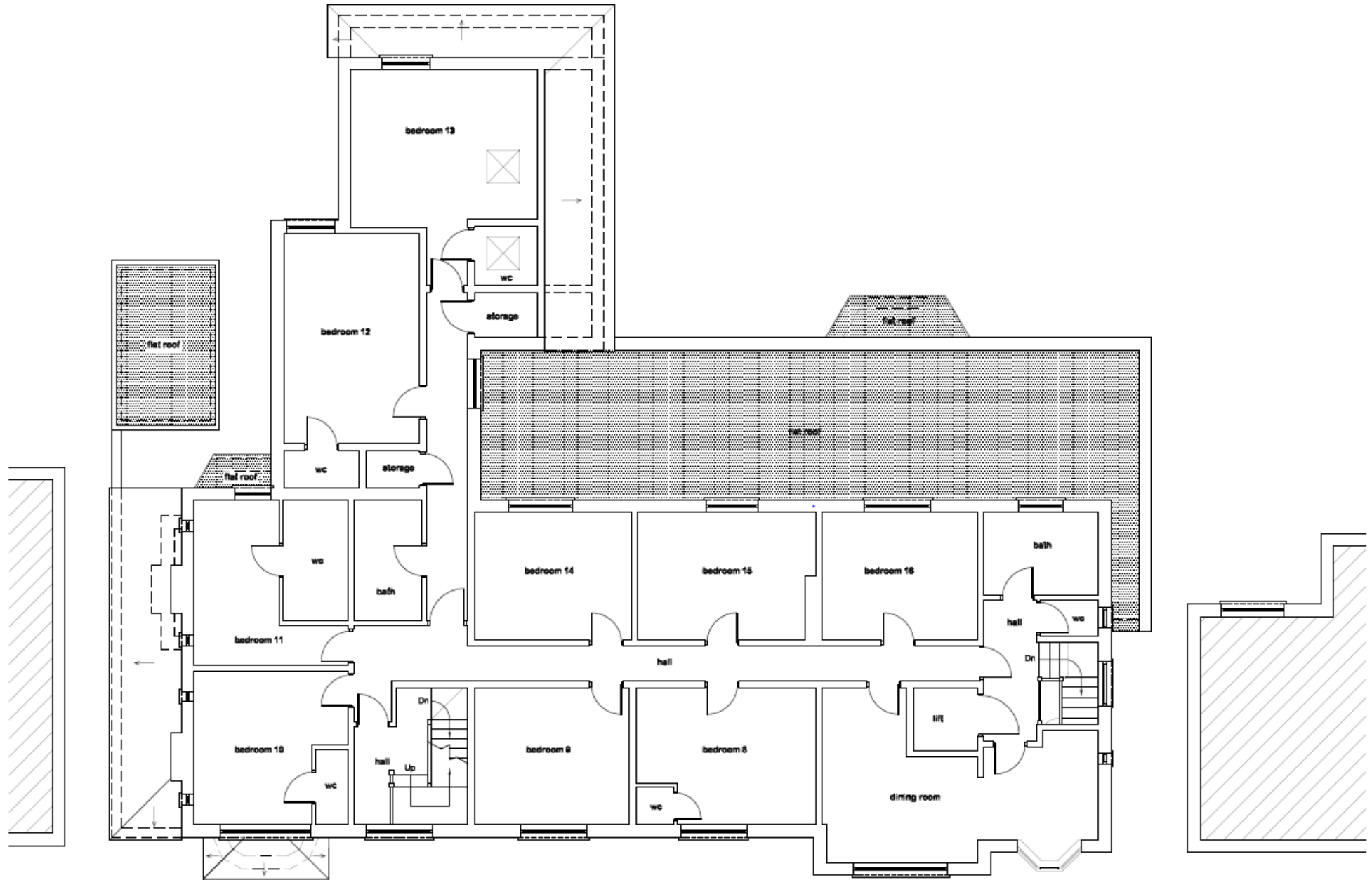


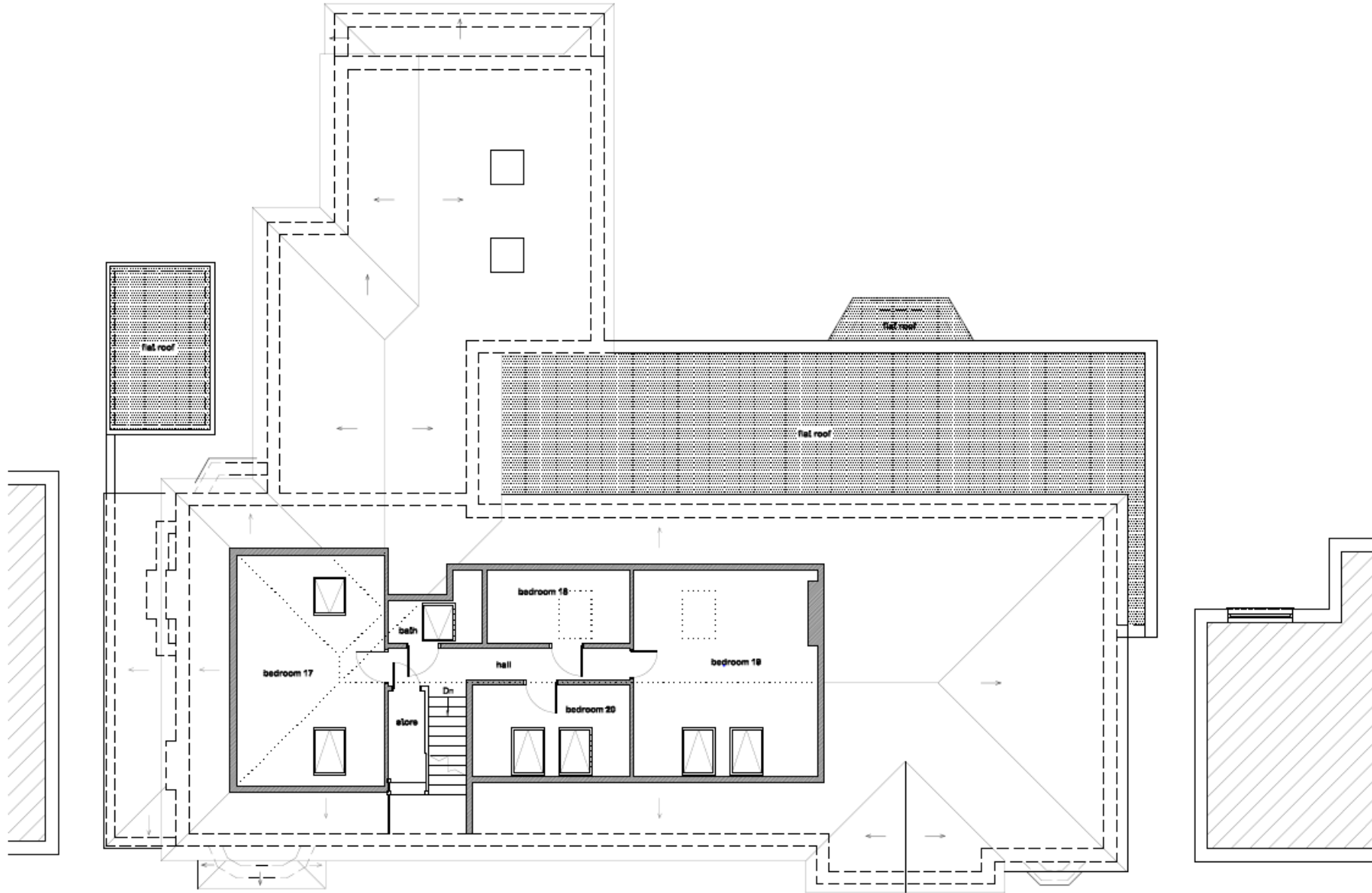




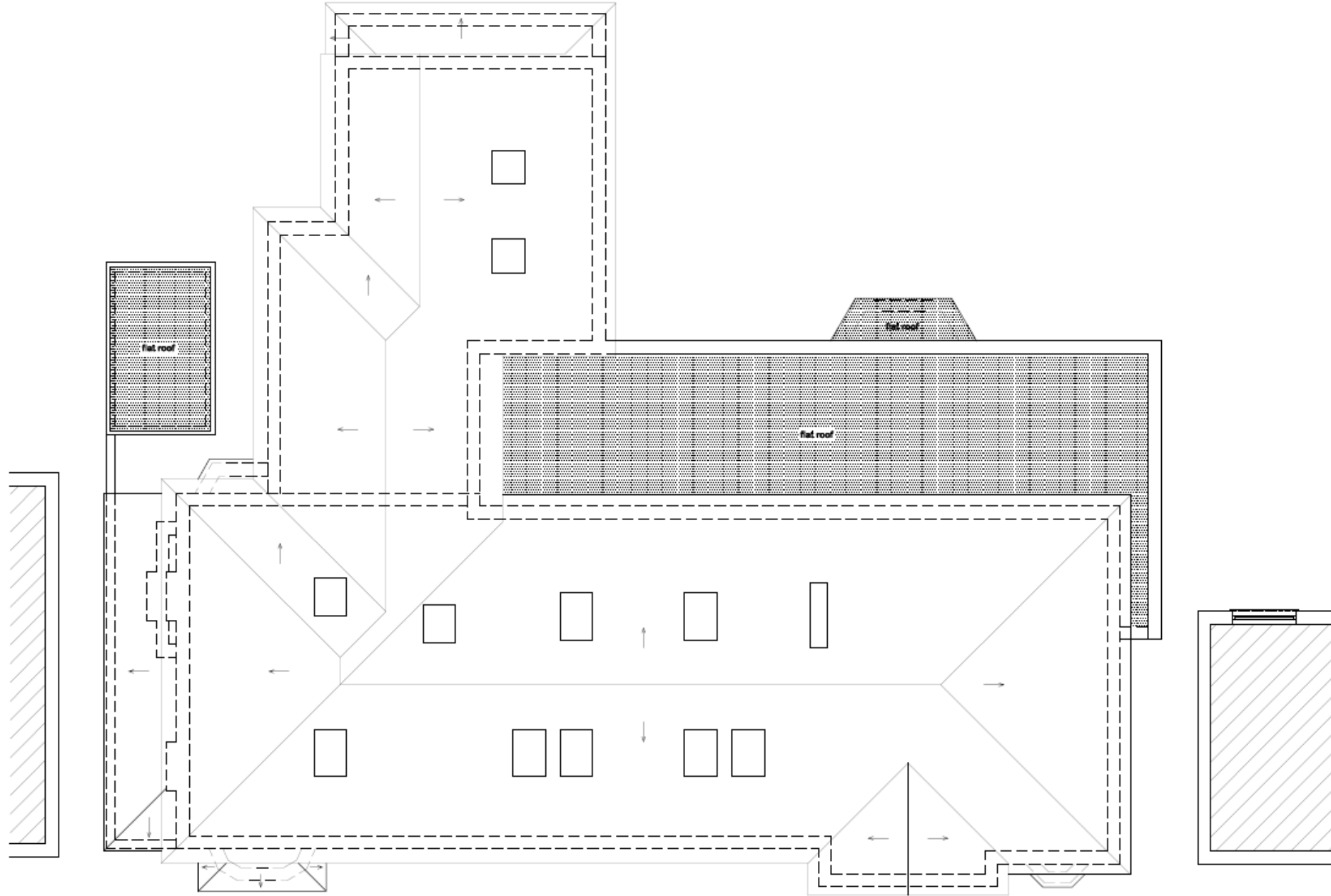


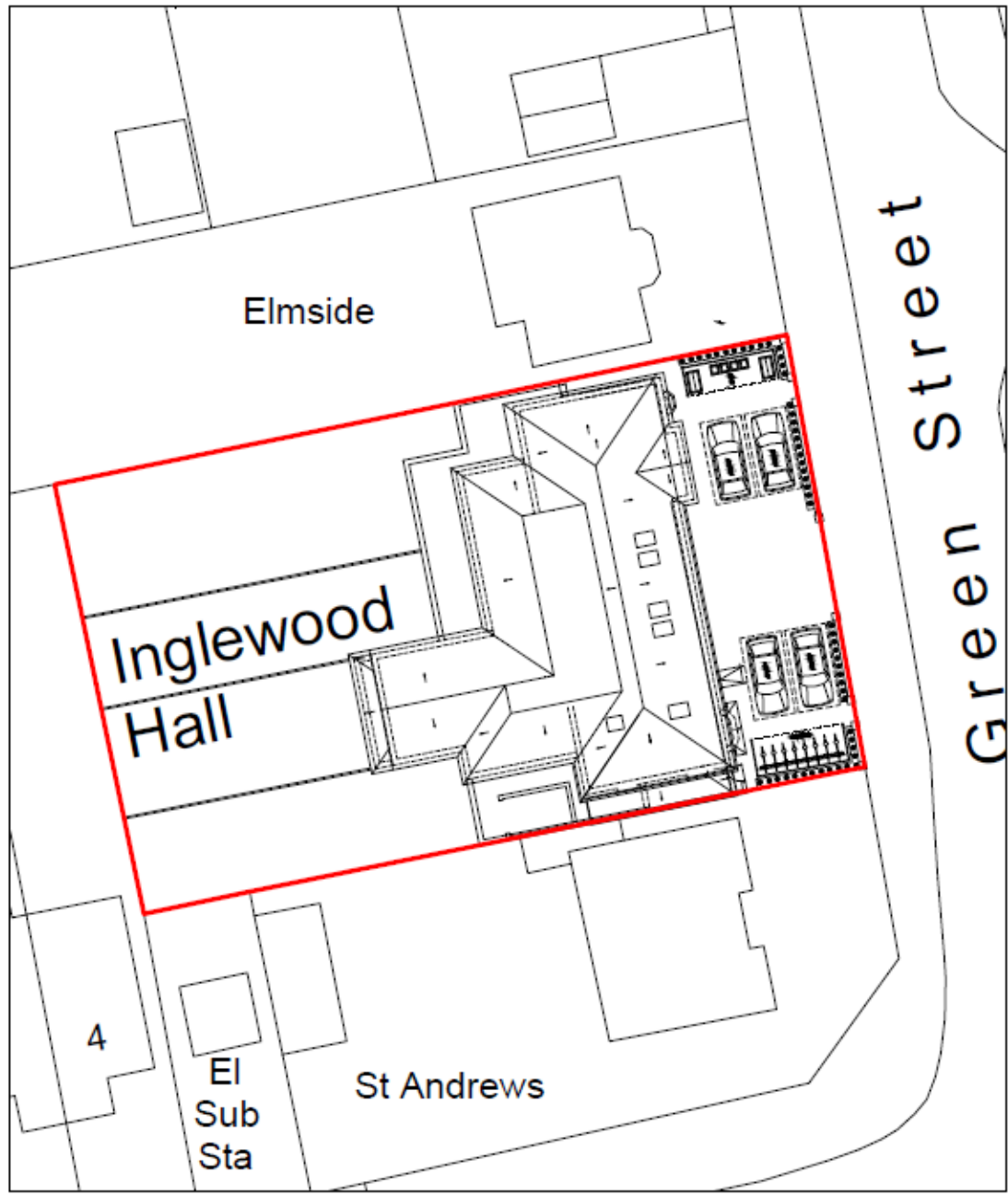










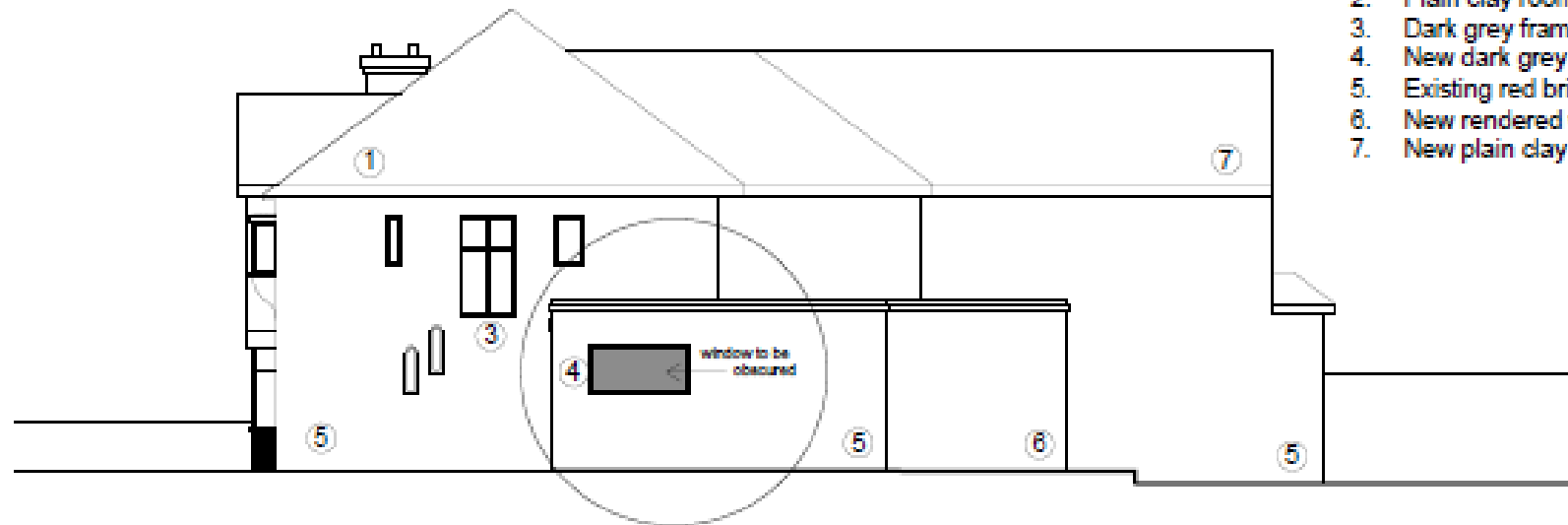
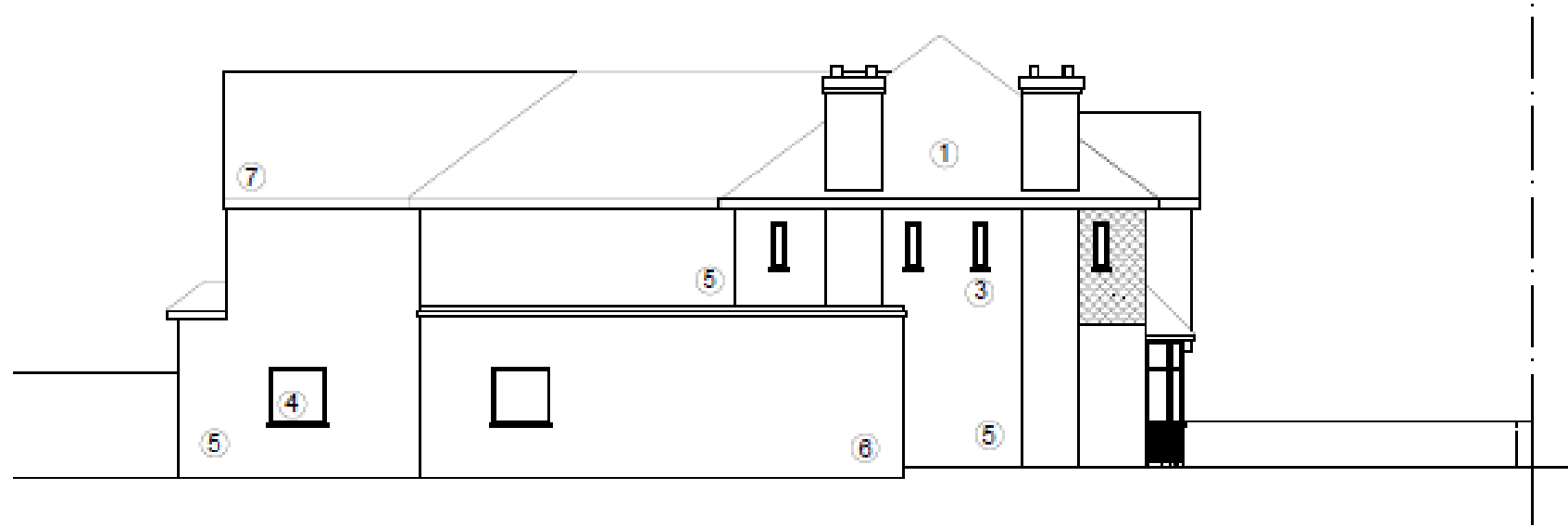


BLOCK PLAN

MATERIALS

1. Existing clay tile-handing
2. Plain clay roofing tiles
3. Dark grey framed replacement windows
4. New dark grey framed windows/glazed doors
5. Existing red brickwork with existing rendered areas
6. New rendered walls to match existing
7. New plain clay tiling

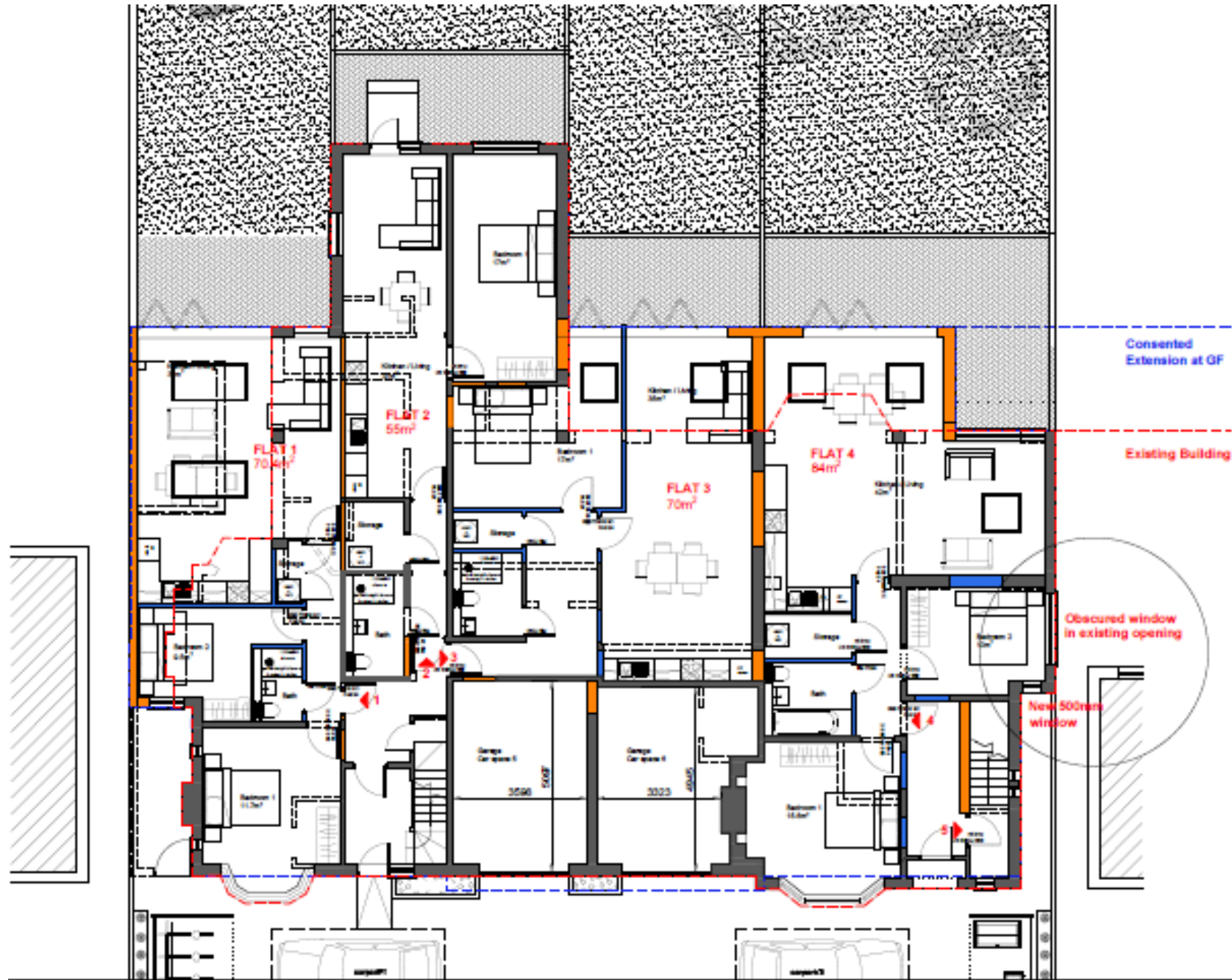


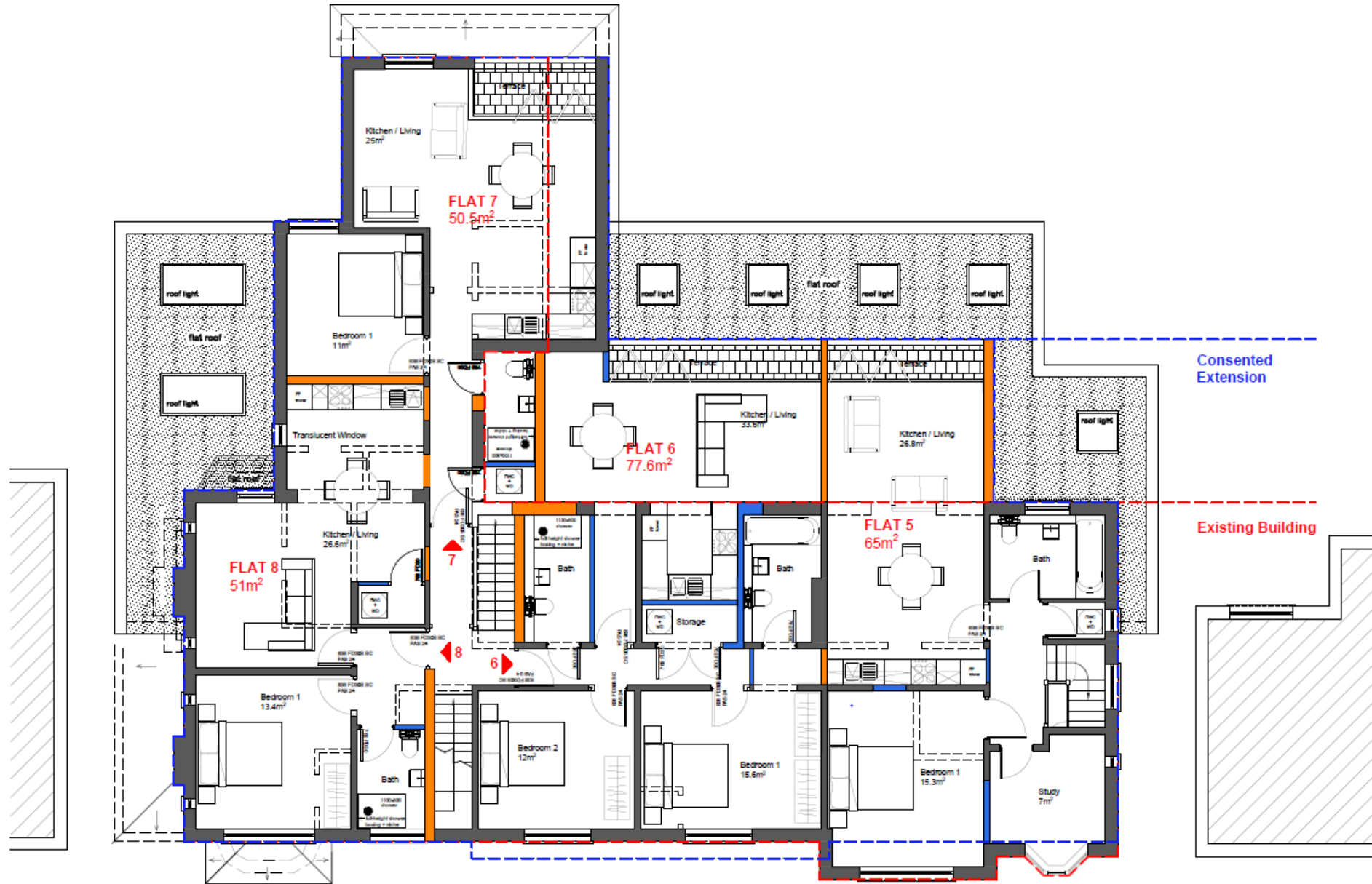


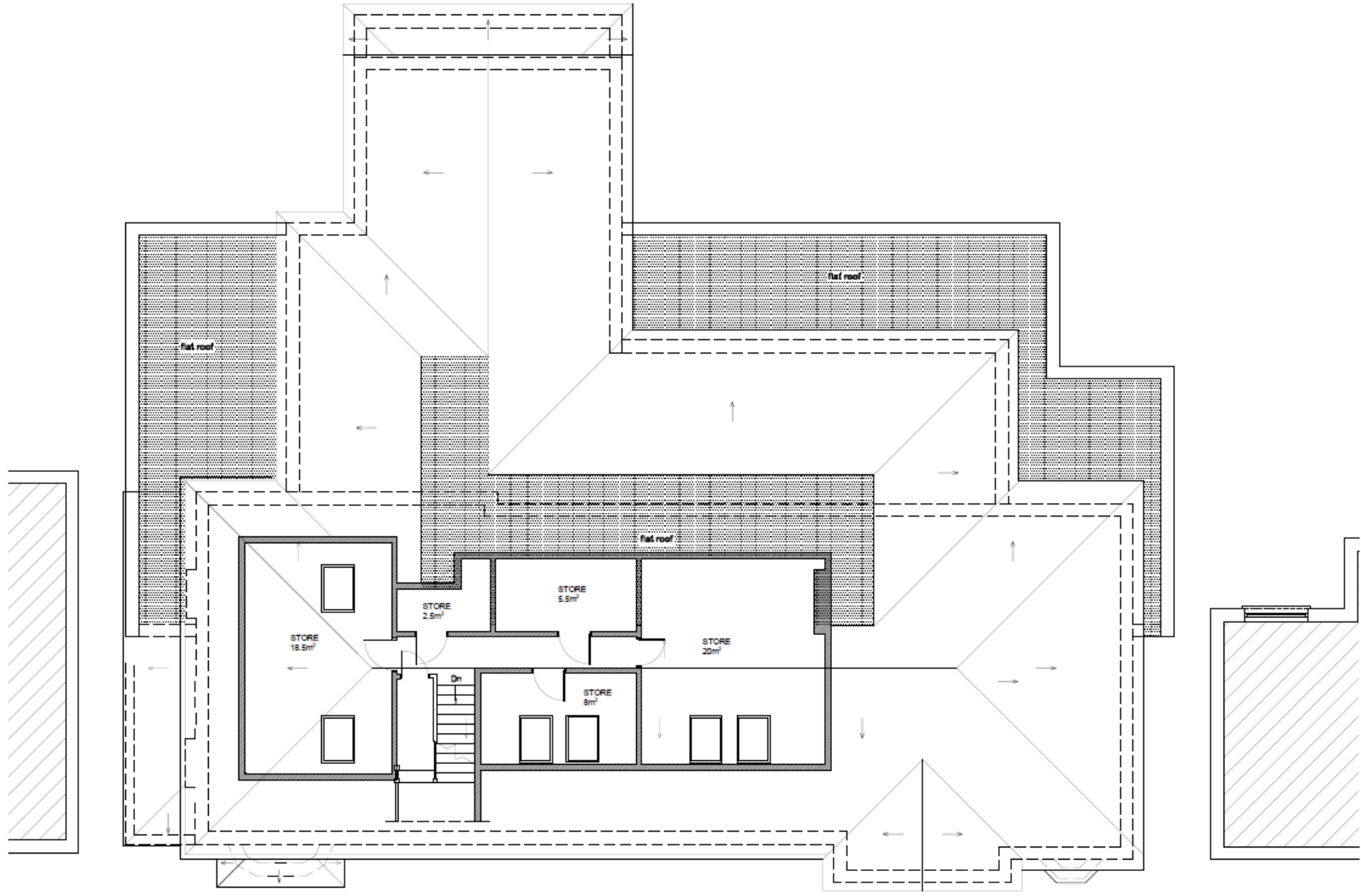
**MATERIALS**

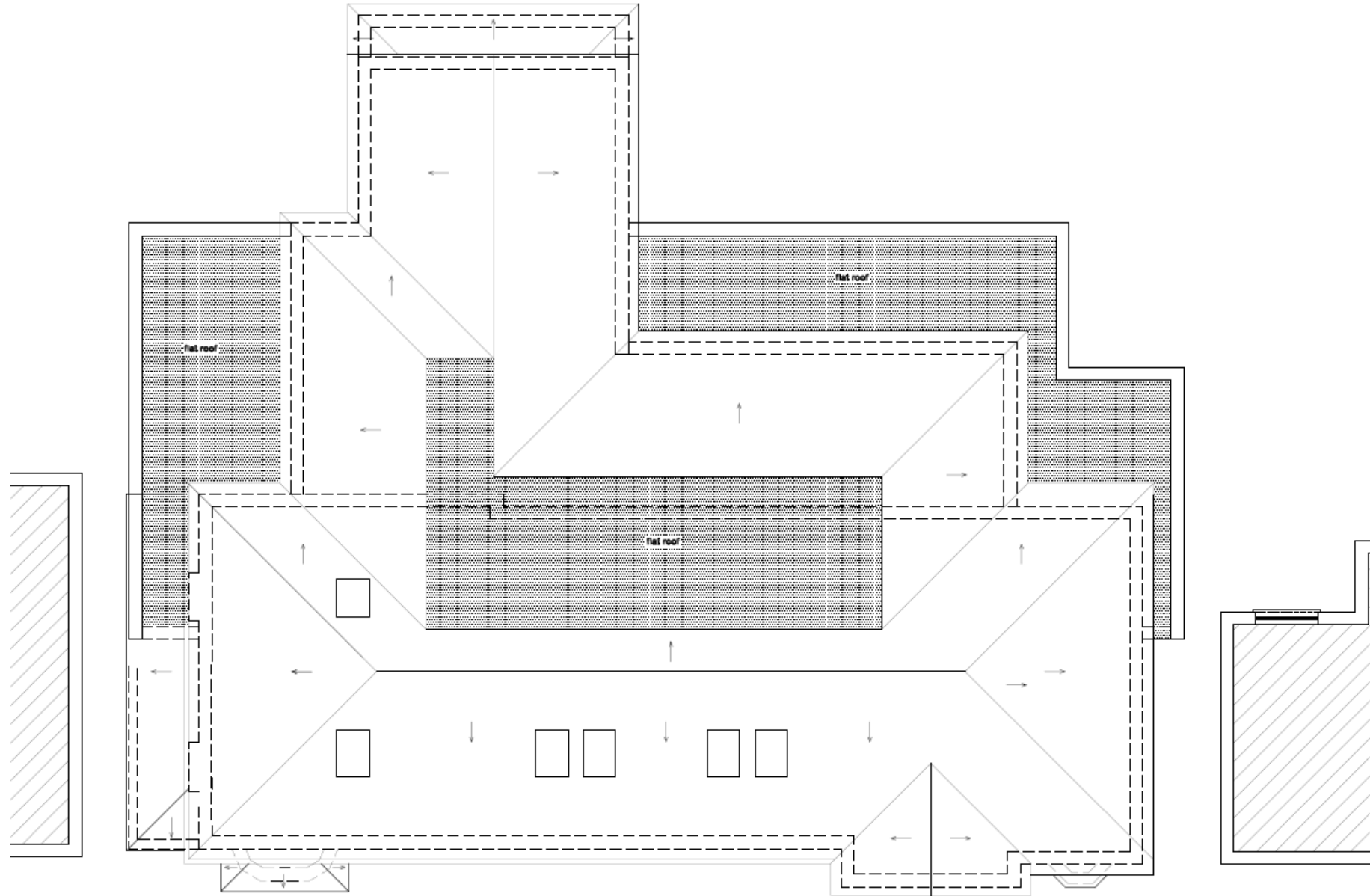
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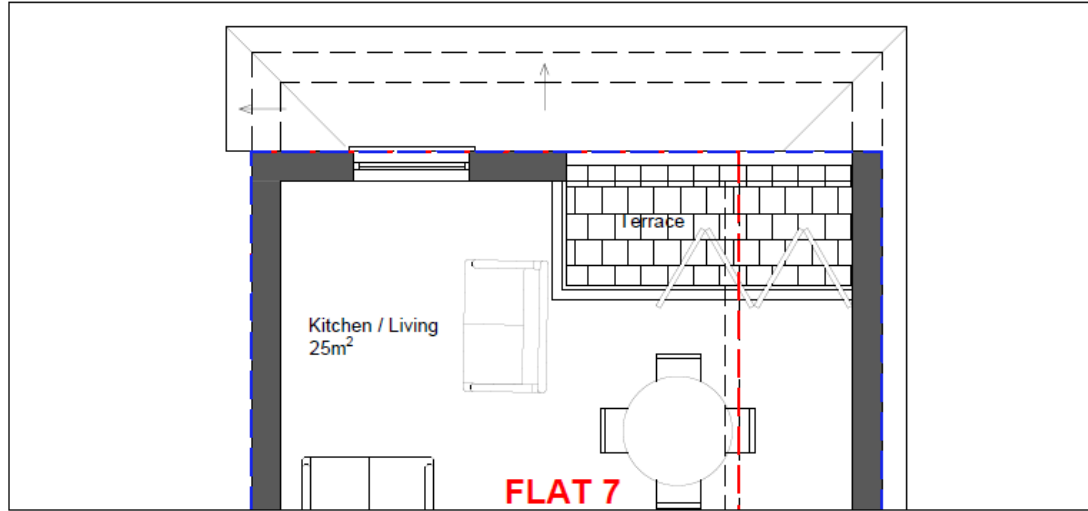






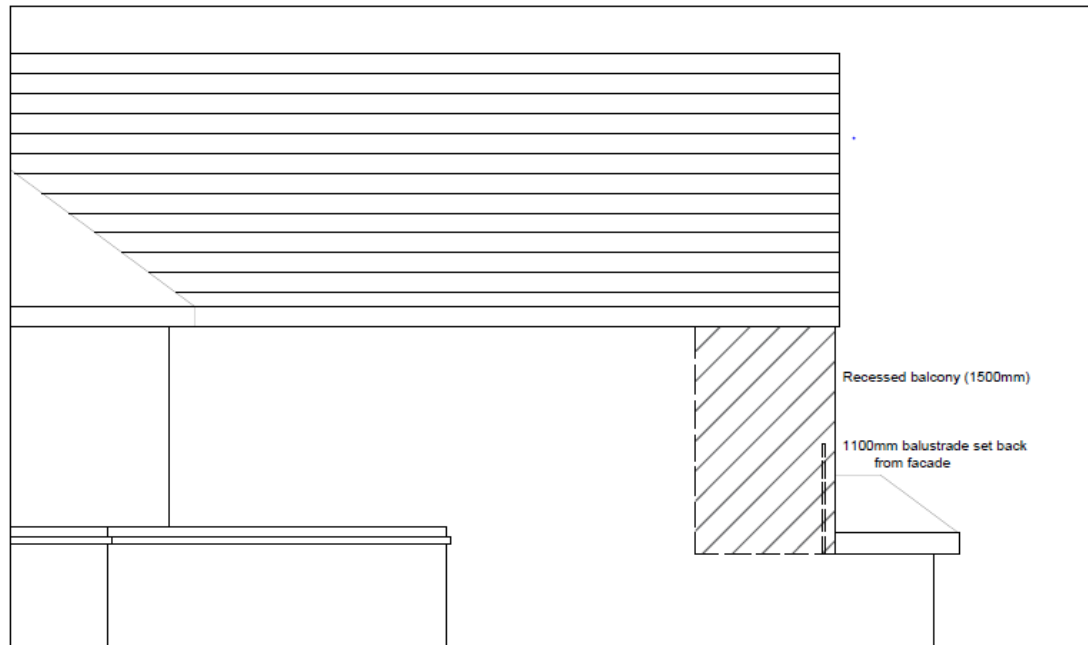






Part 1F Plan 1:50 showing rear balcony

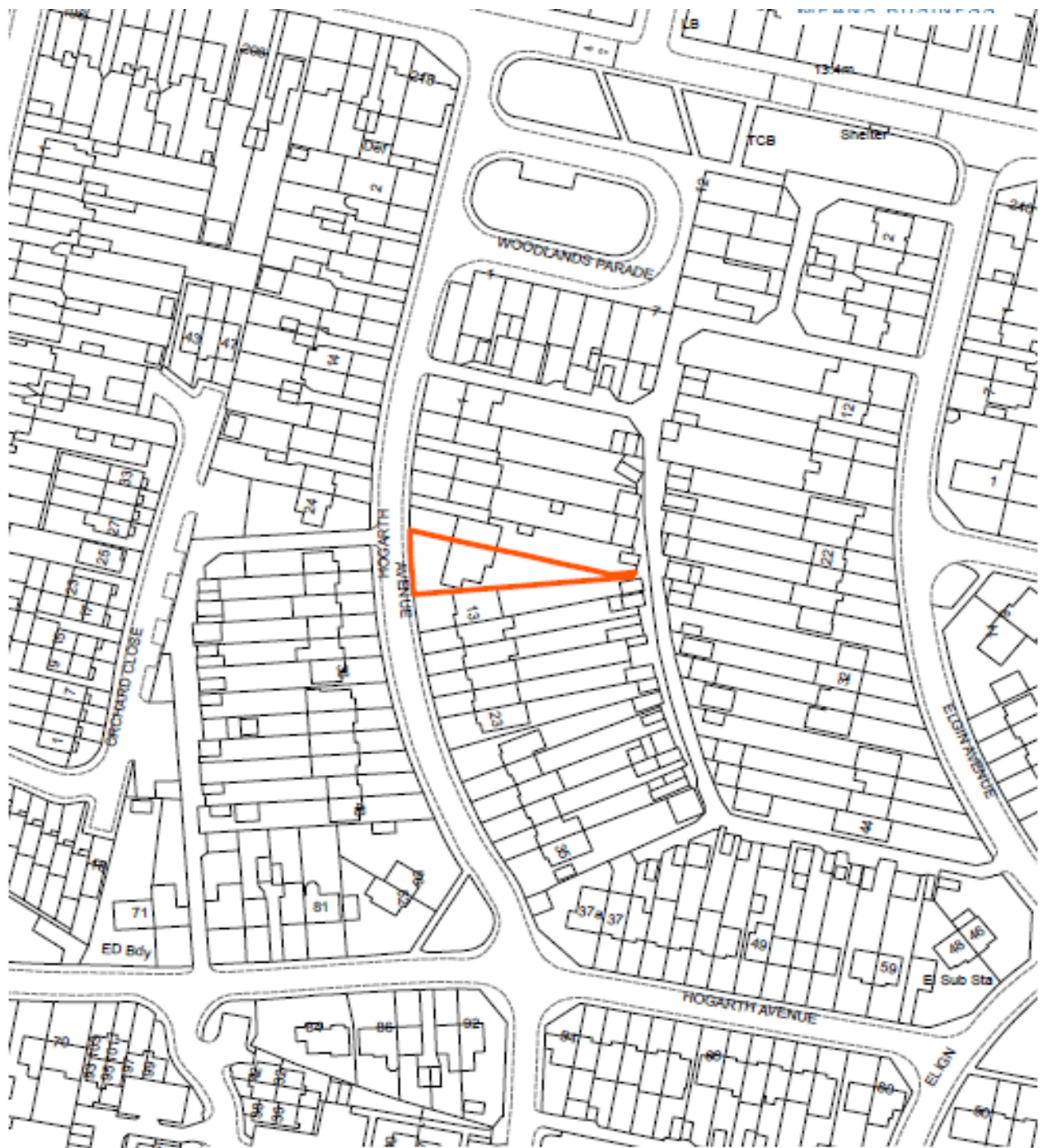
All balconies to rear to be within envelope of building, ie recessed into the building, so that there can be NO side overlooking from the balcony, and can therefore only look outwards to the rear of the property



Part side elevation 1:50 showing rear balcony

As can be seen the balcony is recessed into the room so the external wall (hatched) obstructs any side view and prevents overlooking.

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Slide 1 – Location Plan



Slide 2 – Aerial photo





Slide 3 - Front view



Slide 4 – views to sides









**PRELIMINARY  
PLANNING  
DRAWINGS**

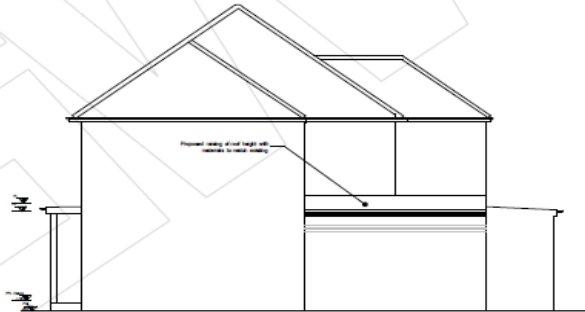
Key:

	PROPOSED WALLS
	EXISTING WALLS
	STONES
	SETBACK BOUNDARY



PROPOSED FRONT ELEVATION

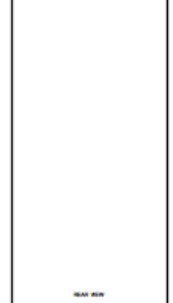
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION

**NOTE:**  
The drawings are intended to be used for the purpose of planning only. They are not intended to be used for construction purposes. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are not to be used for any other purpose without the written consent of the architect.

**Site Photographs**



NOTE: THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE RELEVANT CALCULATIONS & SPECIFICATIONS.

**DRAWINGS TO BE APPROVED BY BUILDING CONTROL DEPARTMENT PRIOR TO WORKS COMMENCING ON SITE**

**Ground Work Design**  
 7 Millennium Business Centre  
 20 South Street  
 Tottenham  
 TW9 4JZ

tel: 020 89910200  
 email: info@groundworkdesign.org  
 web: www.groundworkdesign.org

Revision	Date

**Drawn**  
 Andrew Hodgkins  
 11 Regent Avenue, Acton, TW9 1QB

**For Use:**  
 Proposed Conversion of Existing Building to 4000 Windows To Front Elevation To Replace Garage Doors, Building of new Ground Floor Extension Road Ramp - Windows 4000 Windows Additions.

**Drawn by:** Proposed elevations  
**PLANNING DRAWINGS**

File	130 @ A1	Scale	1:5000000
Date	20/05/20	Sheet	

**Drawing No 04 | Rev D**

